

EROSION, SEDIMENT, AND CONTROL PLAN

SCALE: 1" = 20'

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HORIZONTAL DATUM: NAD 83(2011)
VERTICAL DATUM: NAVD 88

LEGEND

- PROPOSED BUILDING
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED ASPHALT
- PROPOSED CURB
- PROPOSED CONCRETE WALK
- PROPOSED FENCELINE
- LIMIT OF DISTURBANCE
- PROPOSED UNDERGROUND ELECTRIC
- PROPOSED SANITARY LINE
- PROPOSED SANITARY CLEANOUT
- PROPOSED STORMDRAIN LINE
- PROPOSED STORMDRAIN MANHOLE
- PROPOSED WATER LINE
- PROPOSED SMALL SECTIONAL VAULT
- PROPOSED WATER VALVE
- PROPOSED SUPER SILT FENCE
- SILT FENCE ON PAVEMENT
- SILT FENCE
- DIVERSION FENCE
- TEMPORARY CONSTRUCTION FENCE
- AT GRADE INLET PROTECTION
- SAME DAY STABILIZATION
- SUMP PIT / FILTER BAG
- LIMIT OF WORK
- STABILIZED CONSTRUCTION ENTRANCE
- TREE PROTECTION FENCE

GENERAL NOTES:

- FIELD RUN TOPOGRAPHIC SURVEY WAS PERFORMED BY CLSI IN FEBRUARY 2024.
- EXISTING UNDERGROUND UTILITIES DESIGNATED ON THE PLANS ARE BASED ON CURRENTLY AVAILABLE INFORMATION AND ARE SHOWN FOR REFERENCE ONLY. THE OWNER AND ENGINEER DISCLAIM ANY RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF SAID INFORMATION BEYOND THE DESIGNATION INDICATED. THE QUALITY LEVEL DESIGNATED IS IN ACCORDANCE WITH ASCE 'STANDARD GUIDELINE FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA' (CI/ASCE 38-02). THE CONTRACTOR SHALL MAKE HIMSELF FAMILIAR WITH THOSE STANDARDS PRIOR TO ANY RELIANCE ON THE INFORMATION SHOWN ON THESE PLANS. PRIOR TO ANY EXCAVATION, IN THE ABSENCE OF QUALITY LEVEL A OR B DESIGNATION, THE CONTRACTOR SHALL VERIFY, TO HIS OWN SATISFACTION, THE EXISTENCE, DEPTH, SIZE, MATERIAL, AND LOCATION OF ALL UNDERGROUND UTILITIES, AND DETERMINE WHETHER THOSE UTILITIES ARE LIVE. ANY EARTHWORK IN LOCATIONS WHERE UTILITIES ARE POSSIBLE SHALL BE DONE WITH EXTREME CAUTION. THE GIVING OF INFORMATION ON THE PLANS WILL NOT RELIEVE THE CONTRACTOR OF HIS OBLIGATION TO SUPPORT AND PROTECT ALL DESIGNATED OR UNDESIGNATED EXISTING UTILITIES AND APPURTENANCES. SHOULD ANY EXISTING UTILITY BE DAMAGED BY THE CONTRACTOR, THE CONTRACTOR SHALL REPAIR THE DAMAGE CAUSED TO THE UTILITY OWNER'S SATISFACTION, AT THE CONTRACTOR'S EXPENSE.
- LIVE UNDERGROUND UTILITIES MAY EXIST WITHIN THE WORK AREA. CONTRACTOR SHALL USE EXTREME CAUTION AND SHALL COMPLY WITH APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS.
- INFORMATION SHOWN ON THIS DRAWING HAS BEEN PROVIDED AS A GUIDE TO ASSIST THE CONTRACTOR IN ESTABLISHING THE LOCATIONS OF PROPOSED CONSTRUCTION WITH RESPECT TO EXISTING SITE IMPROVEMENTS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL CONSTRUCTION SURVEY STAKEOUT REQUIRED AND TO CONFIRM ALL INFORMATION SHOWN HEREON.

NOTE:

- LIMIT OF DISTURBANCE OFFSET TWO FEET FOR VISUAL CLARITY. ESC CONTROLS TO BE PLACED ON THE LIMITS OF DISTURBANCE.
- TOTAL LIMIT OF DISTURBANCE: 33,535 S.F. / 0.77 ACRES
**PROJECT WILL REQUIRE MDE APPROVAL.
- ANY SILT FENCE OR SILT FENCE ON PAVEMENT REMOVED FOR DAILY ACCESS SHALL BE REINSTALLED AT THE END OF EACH WORKING DAY. ANY SEDIMENT INADVERTENTLY TRACKED OUTSIDE OF THE FENCE SHALL BE IMMEDIATELY CLEANED AND SWEEPED.

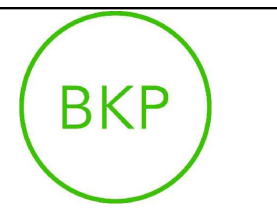
STABILIZATION SCHEDULE

AREA	SQ.FT.	TYPE OF STABILIZATION	SEQUENCE
A BUILDINGS	2,265	EXCAVATED AREA (temporary)	6
		COMPLETED STRUCTURE (permanent)	7
B ROADWAYS	3,365	STONE BASE (temporary)	9
		CONC./BITUMINOUS PAVING (permanent)	9
C CURBS & SIDEWALKS	11,210	TEMPORARY SEEDING (temporary)	7,8
		CONCRETE CURBS/WALKS (permanent)	9
D PERVIOUS AREAS	16,695	TEMPORARY SEEDING (temporary)	7,8
		SEED/SOD/LANDSCAPING (permanent)	9
E SEDIMENT CONTROLS		SEEDING/STONE (temporary)	4,5
		PERMANENT SEED/SOD (permanent)	15

AREAS ARE TO BE VEGETATIVELY STABILIZED TO SATISFY THE 3/7 DAY REQUIREMENT AS PER THE BALTIMORE CITY STANDARD EROSION AND SEDIMENT CONTROL NOTES.

SITE DATA

SITE AREA	743.98	AC	SF
LOD	0.77	AC	33,535
CUT	1,625	CY	
FILL	525	CY	



PROJECT TEAM:

ARCHITECT:
BUELL KRATZER POWELL, P.C.
1525 LOCUST STREET
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CIVIL ENGINEER:
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HUNT VALLEY, MD 21031
T: 410.785.7423

LANDSCAPE ARCHITECT:
ROBINSON ANDERSON SUMMERS
28 WEST STATE STREET
MEDIA, PA 19063
T: 302.888.1544

STRUCTURAL ENGINEER:
STRUCTURAL DESIGN STUDIO, INC
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T: 801.274.3950

MEP ENGINEER:
KOVACS, WHITNEY & ASSOCIATES
190 WEST OSTEND ST, STE 300
BALTIMORE, MD 21230
T: 410.244.7191

CLIENT:

MARYLAND ZOO
THE MARYLAND ZOO IN BALTIMORE
1 SAFARI PLACE
BALTIMORE, MD 21217

RED PANDA
THE MARYLAND ZOO
IN BALTIMORE
1 SAFARI PLACE
BALTIMORE, MD 21217

THIS DRAWING IS TO ILLUSTRATE THE WORK TO BE DONE. THE ARCHITECT IS NOT RESPONSIBLE FOR THE MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES USED TO DO THE WORK OR THE SAFETY ASPECTS OF CONSTRUCTION, AND NOTHING ON THIS DRAWING EXPRESSED OR IMPLIED CHANGES THIS CONDITION. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING HOW THEY AFFECT THE WORK.

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DAILY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 14446, EXPIRATION DATE 9/25/25.

DATE:	JANUARY 14, 2025
PROJECT NO:	2023-10.04
DRAWN BY:	MJE
CHECKED BY:	CMS
SUBMISSION:	DATE
BID SET:	01/14/2025

REVISION:	DATE
ADDENDUM 1	02/03/2025

DRAWING TITLE:
EROSION AND
SEDIMENT
CONTROL PLAN

DRAWING NO:
C701

OWNER / DEVELOPER / APPLICANT:
MARYLAND ZOO IN BALTIMORE
1876 MANSION HOUSE DRIVE
BALTIMORE MD 21217
CONTACT: MR. KARL KRANZ
PHONE: 443-552-3350

BCNR # 11545